

# **LANDSCAPING AND FENCING REQUIREMENTS FOR LE REVE**

AS INTERPRETED FROM BEAUMONT LAND USE BYLAW 944-19

# LANDSCAPING – FRONT YARD

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The intent of the landscaping requirements is to provide a consistent standard for the community, while allowing the homeowner flexibility with their individual landscaping style. It is the responsibility of the homeowner or builder (if applicable) to landscape the front yard. Each lot must comply with Beaumont Land Use Bylaw 944-19 and fulfill remaining planting requirements if detailed in the Plot Plan.

Front yard landscaping is to be completed within one year of the approved Final Grade Certificate Date.

Inspections are weather dependent and will commence once plant material has come out of dormancy. Inspections will cease once most of the plant material has gone into dormancy, (i.e., leaves are no longer on trees or shrubs) or immediately after first snow fall.

At time of inspection, the front yard standard is to consist of:

- 1. Topsoil at a minimum depth of 4”.**
- 2. Sod in the front yard from the front of the house to the curb or sidewalk.**
  - Seed is not acceptable.
  - In the case of corner lots, the front yard shall include the flanking side yard to the sidewalk, curb, or boulevard and to the rear corner of the house.
- 3. Minimum of one tree and a prepared shrub bed containing at least 5 shrubs**
  - The tree shall be at least 2” caliper for deciduous variety or 6’5” in height for coniferous variety
  - Shrubs shall be a minimum of 12” in height for deciduous variety, and minimum 18” in spread for coniferous variety
  - A prepared shrub bed is defined by edging (landscaping vinyl, brick, concrete, etc.) with wood chip mulch or ground cover.

## GREEN CONSIDERATIONS

Environmentally conscious landscaping and low maintenance landscaping that minimizes water use and fertilization requirements are encouraged. It is recommended that homeowners research trees and shrubs that are suited for along with materials that help with drainage and evaporation.

- The use of rock and artificial turf is permitted, provided material and installation are of high quality. Vinyl or stone edging required for areas adjacent to concrete sidewalk or driveway.
- Concrete walkway/driveway extension into the swale or front yard is not an accepted hard landscaping option. Driveways shall not be wider than the garage.

## ADDRESS PLAQUE

Homeowners are responsible for installing a permanent address plaque. **This will be a requirement of the Final Developer Inspection.**

- Permanent address installation on external fixtures such as decorative rock is accepted, provided material and installation are of high quality.
- Sticker numbers will not be accepted.

# DEVELOPER INSPECTION & DEPOSIT RELEASE

- Homeowners are to contact their Builder once they have completed their front yard landscaping.
- All plant material is to be the size stated above at time of inspection.
- Landscaping failures that require more than one re-inspection, will result in a \$150 deduction from the deposit per additional re-inspection.
- Upon approval notification of the Final Developer Inspection, the Builder is responsible in issuing the landscaping deposit, less applicable re-inspection fees, back to the original Payee or applicant.

## QUICK TIPS

- Deciduous Trees are measured based on trunk width (caliper). Must be minimum 2" at time of inspection.
- Coniferous Trees: Fir, Larch, Pine, or Spruce. These trees are measured by height. Must be minimum 6'5" tall at time of inspection.
- Deciduous shrubs are measured by height and Coniferous shrubs are measured by spread.
- Shrubs are to be a planted in a mounded shrub bed topped with mulch or landscaping rock.

Note: Images below are only examples. Homeowners may choose any deciduous or coniferous species for installation, provided they meet minimum size requirements.

**CONIFEROUS TREE**  
MUST BE MINIMUM 6'5" TALL



**CONIFEROUS SHRUB**  
MUST BE MINIMUM 18" SPREAD



**DECIDUOUS TREE**  
TRUNK MUST BE MINIMUM 2" CALIPER



**DECIDUOUS SHRUB**  
MUST BE MINIMUM 12" IN HEIGHT



## Building a Fence?



The City of Beaumont Land Use Bylaw establishes the requirements for a fence on a residential property within the City of Beaumont.

Two factors that need to be considered when building a fence are its height and location. Both are regulated by the [Land Use Bylaw](#). If height and location guidelines are followed, no development permit is required.

*Exceptions: Corner lots and lots backing onto green space are exceptions, and will require a development permit.*

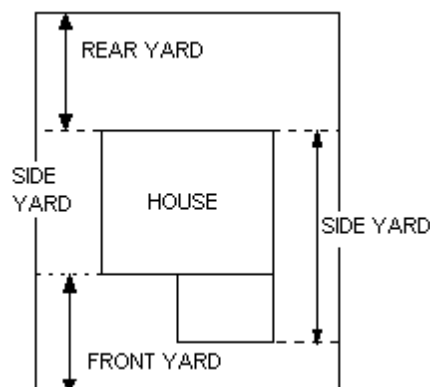
### HOW HIGH CAN MY FENCE BE?

A fence, wall or other kind of screening may be erected around or adjacent to the perimeter of a lot and shall not exceed the height of:

- a. 1.0 metre (3.28 ft) for that part of it to be erected in the front yard of the lot; and
- b. 1.8 metres (5.92 ft) for that part of it to be erected in the side yards and rear yard of the lot (with the exception of properties backing green spaces).

Please note that lattice topping or any other decorative topping are to be included in calculating the height of the fence.

FIGURE 1. YARD DELINEATION



## CORNER LOTS:

Fencing on a corner lot may require a development permit. A development permit is a document permitting a specific type of development on a specific parcel of land in Beaumont. It assures conformance with the zoning and development regulations under the Land Use Bylaw and its effect on adjacent property.

We suggest that the property owner contact Development at 780-929-8782 to obtain information on the maximum height of a fence specific to a lot.

## CONSTRUCTION MATERIAL:

A fence can be built of wood, brick, stone, concrete, metal, vinyl, or chain link. However, electric fencing and barbed wire cannot be used. Architectural controls may apply and it is the homeowner's responsibility to contact the developer or builder to verify restrictions or allowances.

## PLEASE NOTE:

- The fence must be located entirely on your private property. Your Real Property Report will show the location of the property lines and any utility rights-of-way. (You may need to hire a surveyor to locate your property lines.)
- No portion of the fence is permitted to extend beyond the front property boundary onto public property.
- Any costs for construction and/or maintenance of the fence is a private issue between neighbours.
- Fences cannot restrict visibility for safe traffic flow.
- **CALL BEFORE YOU DIG!** Remember to call Alberta First Call at 1-800-242-3447 to locate all utilities and power lines before you begin construction. Call Alberta Second Call at 1-888-632-2122 to locate water lines - a fee may be charged.

**WARNING!** It is the responsibility of the applicant to ensure that the work being carried out does not contravene the requirements of architectural controls, restrictive covenants, caveats, or any other restrictions that are registered against the property. If a chain link fence or similar Developer's fence is present, it was most likely installed according to approved subdivision plans or development agreements. Changes are not permitted.

## FEES:

Please refer to the current year Schedule of Fees and Charges.

Application forms are available on our website at [www.beaumont.ab.ca](http://www.beaumont.ab.ca). If you require assistance in applying for any permit or have further questions, please email [development@beaumont.ab.ca](mailto:development@beaumont.ab.ca) or call 780-929-8782.

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