

Design Guidelines

# Tonewood Stage 2

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Prepared for Melcor Developments Ltd.  
by IBI Group

October 2015

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# Design Vision

The vision for the Tonewood Community is a collection of homes that are inspired by the simple beauty, design and colours of the tonewood found in acoustic musical instruments. The selected architectural theme utilizes design elements that can be incorporated in a diverse range of styles, in a variety of applications. This framework will encourage originality and individual expression while the pattern of coordinated design elements will help establish the character of the community of Tonewood.

## 1 Tonewood Design Theme

Homes in Tonewood will be characterised by simple detailing, strong wood clad columns and accent wood panel. The use of design elements particular to the Tonewood style is required for all homes, but all plans will be reviewed on their own merits.

These design guidelines apply to the lots identified in **Appendix 'A' - Community Plan**.

The key style elements and precedent housing products are shown in **Appendix 'B'**. The key style elements for Tonewood are as follows:

### **OVERALL BUILDING MASSING**

Two storey or bungalow style will be permitted. A variety of roof slopes are acceptable, but must be designed to fit with the home.

### **ROOF STYLES**

A variety of roof styles are acceptable, these styles may be inspired by Prairie and Craftsman styles

### **WINDOW STYLES & PLACEMENT**

Windows are large and strongly contribute to an uncluttered front elevation.

### **MASONRY**

Stone and brick are permitted but not mandatory.

### **EXTERIOR CLADDING**

May be finished in vinyl siding, smooth stucco or hardiplank/hardiboard or hardipanel/smartboard. Novik "Stainnatural" siding may also be used. Innovative panel materials such as longboard may be used.

### **COLOURS**

Colours suited are mid to dark earth tones with monochromatic or darker contrasting trims.

### **DEFINING DETAILS & ENTRANCE TREATMENT**

Defining details are the horizontal wood siding accent panel element and the wood column detail that are to be incorporated on every home. Entrances are defined by porticos, porches or verandahs with simple details.

### **ENTRY DOOR**

Wood or faux wood with stain colour that matches or co-ordinates with the wood panel accent detail element.

## 2 Municipal Standards

The formal standards for the Tonewood development will be those as established in the City of Spruce Grove Land Use Bylaw. Conformity with these guidelines does not supersede the required approval process of the City of Spruce Grove. Relevant plans for utilities and rights-of way should be consulted.

Design approval must be granted by the Developer prior to the Builder submitting applications for development permits and building permits from the City of Spruce Grove.

## 3 Home Massing & Siting

### 3.1 House Siting, Setbacks & Coverage

Consideration should be given to siting homes to provide optimal orientation and exposure to the streets and sidewalks. The site coverage and building setbacks are to conform to the requirements of the City of Spruce Grove Land Use Bylaw.

### 3.2 Minimum Home Sizes & Massing

All homes with attached front garages shall be a minimum exterior width within 2'-0" of the building pocket width for each lot, without offsetting the garage by more than 4'-0". For homes or units with rear detached garages, the minimum exterior width is to be within 4'-0" of the building pocket.

The massing of homes should be consistent with the Tonewood area and neighbouring homes.

### 3.3 Repetition

The same house plan or model shall be separated by two (2) lots on the same side of the street and it will not be allowed directly across the street. This may be altered at the Designated Design Consultant's discretion if it can be shown that the two houses in question are located so as not to be visible together from any given angle. The same model may be allowed to be separated by one (1) lot if significant changes have been made to the house style, roof pitch, and exterior materials to the satisfaction of the Designated Design Consultant. The predominance of any one particular model on a streetscape will not be allowed.

For semi-detached homes the same home elevation shall be separated by two (2) homes on the same side of the street and it will not be allowed directly across the street. This may be altered at the Designated Design Consultant's discretion if it can be shown that the two semi-detached homes in question are located so as not to be visible together from any given angle. The predominance of any one particular semi-detached home on a streetscape will not be allowed.

### 3.4 Roof Pitch, Overhangs & Height

The minimum roof pitch is to be 5/12. Lower roof pitches will be considered subject to home style and other design details.

The roof lines on any home must be consistent and complimentary to the total house design. Roof pitch and roof overhangs should be designed with consideration to other design details of the home.

Some house types may require a steeper roof pitch to accommodate the streetscape. Specifically, bungalow designs will require a minimum 7/12 roof pitch.

Minimum roof overhang to be 18" except over a cantilever, bay or boxed out window where the minimum overhand required is 12". The roof lines on any house must be consistent or complimentary to the total design of the home.

The maximum building height is to be in conformance with the City of Spruce Grove Land Use Bylaw.

## 4 Materials & Details

### 4.1 Roof Materials

Roof materials are to be asphalt shingles as follows:

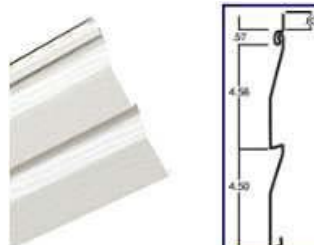
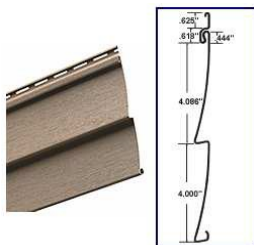
- IKO - Cambridge - Weatherwood Dual Black, Harvard Slate, Driftwood;
- BP - Harmony - Twilight Grey, Shadow Black, Driftwood, Antique Grey, Stonewood;
- GAF - Timberline - Weatherwood, Charcoal Blend.

Other roof materials will not be considered.

### 4.2 Primary Finish/Siding

Vinyl siding, smartboard, hardipanel/plank, hardiboard, stucco, brick or stone will be allowed. All horizontal vinyl siding must be Traditional/Clapboard profile, minimum exposure to be 3" and maximum to be 4½". Dutch Lap/Designer profile will not be permitted. See illustrations below.

*Acceptable Profile: Traditional/Clapboard*      *Not Acceptable Profile: Dutch Lap/Designer*



Homes with a stucco finish must be complimented with stucco detailing appropriate to the particular style. Smooth finish and sand float finish is acceptable. Trowel or raised finishes and patterns will not be permitted. Acrylic stucco is encouraged.

The maximum height of parging is 2'-0" on all elevations. For bi-level homes, the maximum height is 1'-0".

### 4.3 Tonewood Accent Panel

A wood-toned accent panel located on the front elevation will be a key design element in Tonewood. This panelling is to be applied in a horizontal direction only. This accent panel may be comprised of the following materials:

- faux wood siding products in vinyl, metal and other composites:
  - Novik “Stainnatural” siding (Teak, Oak, Walnut);
  - Longboard siding;
  - Sagiper (Blonde Oak, Chestnut Blackwood, Mocha Redwood, Hazel Oak, Knotty Maple, Caramel Cedar, Brazilian Redwood, Caramel Zebrawood, Pine Zebrawood and Cherry Zebrawood).
- Other faux wood siding products in vinyl, metal and other composites may be considered at the discretion of the Designated Design Consultant.

### 4.4 Fascia & Trims

Fascia boards are to be a minimum 8” depth for all homes. If decorative grill or muntin bars are used, they must be on all windows facing the street including side windows of bays and any window within 3’ of the front corner.

Trim material is to be wood, composite material (i.e., Smartboard), metal clad, vinyl or an approved equivalent. The use of Smartboard material is strongly encouraged in order to avoid large expanses of vinyl on trim details and gable ends. “Rough sawn” vinyl shakes and vertical siding will be allowed at the discretion of the Designated Design Consultant.

Trim is to be implemented as follows:

- 3” - 4” wide trim will be required on high visibility elevations of all homes;
- window trim on visible side elevations should be 3” - 4” wide on all four sides of the window;
- trims placed on the wood accent siding should be finished with a narrow trim or “J” trim type.
- 6” wide shadow boards or cornices, if incorporated in the design, must be used in all open gable ends where the wall meets the soffit on every elevation;
- corner trim boards on all front elevations are to be a minimum width of 3” and coordinated to the adjacent wall colour;
- trim profiles must project beyond the wall material they are designed within. When a composite material trim is used on a stone or brick wall, the trim must be built out at least ½” above the stone;
- open gables on the front and other highly visible elevations should be constructed with a composite material such as smartboard;
- fascias are to be prefinished aluminium and must be a minimum depth of 8”;
- rainware should be limited on exposed elevations - downspouts should be installed on side and rear elevations of homes only. All rainware is to be prefinished and match the trim colour.



## 4.5 Masonry

Stone (authentic or cultured) or brick may be used as a complimentary accent in conjunction with other detailing options based on the style and design requirements of the home, however, it is not mandatory. Masonry details should reflect structural elements and should complement the architectural style and colour scheme. All masonry must wrap at least 2'-0" around all corners.

Masonry is not to extend above the front storey and should not be applied to the second storey of the home. Masonry applied to the garage should be used in conjunction with a soldier course or heavy trim at the top.

If brick is used, it should not have a reclaimed or mottled appearance. The brick should be monochromatic and even toned.

## 4.6 Chimneys/Vents

All flues and vents are to be boxed in with the same finish and detailing as the home.

## 4.7 Verandah & Stairs

Verandahs and/or porches must be enclosed to grade and clad with brick, stone or smartboard. Lattice will not be permitted. All stair risers must be closed back – open stair treads will not be permitted. Precast steps may require additional finish work.

Front entry steps are to be a maximum of four risers per set. Where the grade requires more than four risers, the run must be split.

Front walks are to be a minimum width of 3' 6" poured concrete.

## 4.8 Entranceways, Verandahs & Porches

Front entrances are to create an expression of quality and the Tonewood theme through the incorporation of porticos, verandahs, canopies and porches.

Entrance ways are to be covered at a level that encloses and protects the space – at the first level or a height proportionate to the design. Two storey pillared entries will not be allowed.

## 4.9 Columns

The column design will form a key interpretive design element for Tonewood. Each home is to incorporate the same wood tone column detail.

Columns are to be rectangular with a minimum width of 18" at street side and 12" on the side elevation. The columns are to be clad in a wood panel material that is identified in Section 4.3. The trim should be a finish with a narrow trim or "J" trim type. Stone cladding will not be permitted on these columns.

## 4.10 Windows

Glazing and windows are to dominate the front façade. Casement, double-hung, and single-hung are appropriate window types and may be incorporated with non functional windows to create more elaborate window designs. Window frames are to be darker colours such as grey, charcoal, brown and black - this frame colour is mandatory on all front and high visibility elevations. White frames may be permitted on non-visible elevations.

Muntin bars are not required but if muntin bars are used, they should be of solid materials, not tape.

Large windows and french and bay windows are highly encouraged on the front and highly visible elevations.

## 4.11 Front Entry Doors

The front entry door is to interpret the Tonewood style through the incorporation of an authentic wood or faux wood door with a stain colour that matches or is similar to the colour of the accent wood panel. Fibreglass doors with a "wood grain" finish will also be acceptable. Glazing in the door is not mandatory, but is highly encouraged. White window and door frames will not be permitted on front elevations.

# 5 Other Visible Elevations

Side and rear elevations that are visible to open space, neighbourhood streets and major roadways will require extra design detail.

## 5.1 Side Visibility Elevations

Side elevations on all corner lots and lots adjacent to walkways require an extra level of design detail. The side should have the same treatment (i.e., box outs, detailed battens, stone/brick) as the front elevation, as it is even more visible than the front elevation from the street. Wood panel detailing is to be included on visible side elevation to further enhance the Tonewood theme.

Two storey plans will be allowed on corner lots. Side elevations on all corner lots must be approved by the Designated Design Consultant. Side drive garages will be allowed on corner lots subject to review by the Designated Design Consultant.

## 5.2 Rear Visibility Lot Elevations

High visibility rear elevations require special design consideration. These elevations must have openings of a number and size that is suited to the wall area, and incorporate detailing consistent with the front elevation and overall design.

# 6 Colours

## 6.1 Colour Theme

The Tonewood design theme is to be implemented by darker earth tone colours, darker trims and wood or wood toned siding. Pastel colours are not permitted.

Colours will be approved on an individual basis. Colours will not be duplicated on adjacent lots or directly across the street.

All colours for wall materials, such as shakes, board and batten, vertical/horizontal siding are not to match or be similar the accent wood grain siding.

## 6.2 Wood Siding Colours

A key design element is wood or wood toned siding that is to be used as the accent panel on the front elevation.

Wood colours for this design element are to be limited to authentic wood colours such as oak, walnut, teak and cedar.

## 6.3 Cladding & Window Colours

The primary cladding is to be in moderate to dark tones and colours. No white siding will be allowed. Light buff and tan siding will not be allowed.

Window frames are to be darker colours such as grey, charcoal, brown and black. White frames will not be permitted.

All exterior colour schemes will be approved on a lot by lot basis. The predominance of one colour or colour palette within a street or area will not be permitted. In particular, grey and brown toned siding will be carefully monitored. Streetscapes require a variety of wall cladding and trim colours, specific to a style. The Designated Design Consultant reserves the right to approve or disapprove any colour scheme.

# 7 Garages, Driveways & Walks

## 7.1 Garage Location

All driveways and garages are to be located in accordance to the approved driveway and garage location plan. The garage and driveway location plan is subject to change.

## 7.2 Front Drive Garages

All garage doors must be upgraded designer style to represent the proposed theme. The door must be the same colour as the siding or alternatively may match the trim colour if appropriate to the style. The maximum distance between the top of the garage door and the garage eave line should not be more than 18". Where the design exceeds this requirement the use of additional architectural detailing to reduce the impact is required. Gable ends will require appropriate detailing to soften the visual impact accordingly.

The use of glass panels in garage doors are highly encouraged for all lots with front drive garages. Sunburst or other glazing patterns will not be allowed. Corners of overhead door must be straight. Angled corners will not be permitted. White door and window frames will not be permitted.

## 7.3 Rear Access Garages

A 20' x 20' poured, broom finish concrete pad is to be provided at the time of home construction.

Rear access garages are to be finished in the same colours, materials and finishes as the house. Garage doors are to have white raised panel detailing at minimum, however, glass panels will not be required. All rear garages with elevations exposed to the street are to have an additional level of detail including trim detailing and a window on the exposed elevation.

## 7.4 Driveways & Walks

Driveways and walks are to be plain concrete, exposed aggregate or stamped concrete in an approved colour. Unit pavers will not be permitted as the predominant material, however, the use of unit pavers as a trim detail is acceptable.

Front walks are to be minimum width of 3'-6".

The driveway is not to exceed the width of the garage to the garage front where the width may then flare to include a walkway to the front of the home or to the rear yard. A wider driveway may be considered if it can be demonstrated that it does not compromise drainage and does not detract from the streetscape and landscaping standards.

A deep tooled joint is recommended, a maximum of five feet into driveway from the existing concrete sidewalk or curb and gutter. In the event of any future repair, the deep cut will facilitate any settlement and make the maintenance repair appear seamless.

## 8 Landscaping, Fencing & Lot Grading

### 8.1 Landscaping

One tree and sod are to be planted by the homeowner in the front yard. Rear yard landscaping shall be completed with a minimum of sod. In addition, an edged shrub bed area of a minimum 75 sq. ft. is to be provided with front yard containing a minimum of 7 shrubs of 18" height or spread. Large scale ornamental grasses are an acceptable alternative to shrubs at a 2 grasses = 1 shrub ratio.

All ecoscape proposals shall have prior approval before implementation. Generally, additional shrub and tree elements will be required to meet the requirements. Synthetic grass will not be considered.

Landscaping is to be completed within 12 months of completion of the house or when weather permits. Seasonal allowances will be considered.

The trees are to be a combination of 2" calliper deciduous or 8' evergreen trees (spruce or pine). Measurement for calliper size will be taken 6" above the ground. Smaller sizes will not be accepted. Columnar spruce or pine are not allowed.

### 8.2 Fencing

Fencing in Tonewood is to be co-ordinated with the approved subdivision fencing in both design and colour, and must be constructed according to the details attached in **Appendix 'C'**.

### 8.3 Lot Grading

Lot grading is to conform to the latest approved subdivision grading plan. All lots to be graded to the subdivision design grades. Final lot grade certificates must be prepared by a Surveyor and approved by the City of Spruce Grove showing that lot grades comply with the subdivision grading plan as a condition of refund of security deposit.

## 9 Exterior Accessories & Railings

### 9.1 Lighting

The exterior of the home is to be lit unobtrusively without exposed lighting fixtures - only recessed pot lights are to be used. Verandahs are to be lit with additional pot lights along the length of verandah to enhance this feature at night.

### 9.2 Address Plaque

House numbers are to be located at the front entry door or on the front garage elevation. Address plaque to be a dark charcoal slate with raised 3/16" aluminum brushed nickel finish. All house number fonts are to be in 36" Time New Roman font as shown in Appendix "D".

### 9.3 Other Accessories

All mail boxes are to have stainless steel or black finish.

Deck railings are to be provided as required by the Alberta Building Code. All railings are to be developed in a style to match the home. Acceptable railings include metal, wood (stained or finished to match home), metal framed glass or composite materials.

## 10 Subdivision Appearance

### 10.1 Signage

Only one lot identification sign will be allowed on Builder Lots. No home builder or contractor signage will be allowed on medians or boulevards.

### 10.2 Excavation Material

Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, sidewalk or neighbouring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses.

### 10.3 Clean-Up

Builders should encourage timely removal by all sub-trades of litter on building sites. Builders found negligent will be back charged for clean up carried out by the Developer. Supply of bins by the builder is MANDATORY. Any general clean up of the subdivision initiated by Melcor Developments can and will be charged prorata to all builders.

## 11 Other Important Guidelines

### 11.1 Damages

The cost of repairs due to builder damages to existing features and utilities will be billed to the builder or deducted from the builder's security deposit and the builder will be invoiced for damages beyond what the security deposit covers. Builders must pre-inspect their lot for damages to services, walks or curbs and list any damages along with required pictures in writing to the Developer.

### 11.2 Sump Pumps & Weeping Tile

Sump pumps and weeping tiles are to be provided in compliance with City and Provincial standards and requirements.

### 11.3 Downspouts

Downspouts must be directed away from the house to streets or rear drainage structures and located in accordance with the lot grading plan. Stormwater must not be directed onto adjacent lots.

### 11.4 Retaining Walls

Where visible from the street, retaining walls should be limited to a maximum exposed height of 0.9 m (3'-0"). Retaining walls higher than this should be designed in a stepped fashion to reduce the visual impact of the wall. All retaining walls are to be constructed to compliment the exterior building finishes and blend with the landscape. Timber retaining walls will not be acceptable. Any retaining walls are the responsibility of the Builder and/or purchaser and are to be constructed completely within private property lines.

### 11.5 Footing Elevations

Builders are responsible for inspecting footing elevations.

## 12 Approval Process

### 12.1 Initial Submission

The Builder and/or Purchaser shall submit the following information to the Developer:

- drawings of the house including floor plans, elevations, cross sections, etc., (drawings at 1:50 or ¼" = 1'-0");
- a plot plan identifying lot grades, floor elevations, setbacks and house location prepared by the Designated Land Surveyor; and
- a completed Application Form for House Plan Approval.

This information is to be uploaded on [archcontrol.com](http://archcontrol.com).

A security deposit of \$5,000 will be required at the time of application.

The Developer or its Designated Design Consultant shall review the plan and recommend approval or rejection of the application based on the adherence of the plans to the guidelines, within 5 business days of application. The Developer will make the final decision as regards to the approval or rejection of the application.

A copy of the application form and a marked up set of plans shall then be made available to the Builder or Purchaser.

Any changes by the Builder and/or Purchaser from approved plans must be submitted to the Developer or its Designated Design Consultant for approval in writing prior to being undertaken.

## 12.2 Final Approval/Refund of Security Deposit

Upon being advised by the Builder of the completion of the house, landscaping and driveway, the Developer shall carry out an inspection and site review to confirm conformance with these guidelines and to ensure that no Municipal Improvements located within the lot or adjacent to the lot have been damaged. If damages have occurred to Municipal Improvements, the Developer shall repair the damage and be entitled to offset all costs incurred in repairing the damage to Municipal Improvements from any Security Deposit paid.

Following the Final Approval, receipt of the confirmation of lot grading and the completion of landscaping (excepting the front yard landscape to be completed by the Developer) and driveway, the completion of any deficiencies and confirmation that no Municipal Improvements have been damaged or that all damaged Municipal Improvements have been repaired, the Security Deposit or the remainder of the Security Deposit, after deducting amounts required to reimburse the Developer for the repair to Municipal Improvements, will be refunded by the Developer to the party paying the Security Deposit unless the Developer has received a written assignment in writing executed by the party who paid the Security Deposit in favour of another party in which case the Assignee shall be entitled to receive payment of the Security Deposit.

Nothing herein shall be construed so as to restrict the liability of the Builder and/or Purchaser to the amount of the Security and the Builder and Purchaser covenant to indemnify the Developer against any damage, cost, claim or liability incurred by the Developer arising out of damage to Municipal Improvements for which the Builder and/or Purchaser is responsible in accordance with the provisions of the Restrictive Covenant or these Guidelines or the completion of any work required to be completed by the Builder or Purchaser in accordance with these Guidelines or the Restrictive Covenant to which these Guidelines are attached.

## 12.3 Design Submissions

Please forward submissions via the [archcontrol.com](http://archcontrol.com) website to:

**IBI Group**

Suite 300, 10830 Jasper Avenue  
Edmonton, AB  
T5J 2B3

Phone: 780-428-4000

Fax: 780-426-3256

Website: [archcontrol.com](http://archcontrol.com)

***The information contained in this Design Guidelines Document is provided as a guide to be used by the Lot Purchaser and/or Builder. The Developer may revise these Guidelines at their discretion at anytime, without notice. The Developer and its designated consultants make no warranties or representations as to the accuracy or completeness of any information provided on individual house plans. The Purchaser shall be fully and solely responsible for all designs which follow these guidelines and for the conformance of such designs to the appropriate building codes.***



# Appendix A – Community Plan

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GROVE DRIVE



**LEGEND**

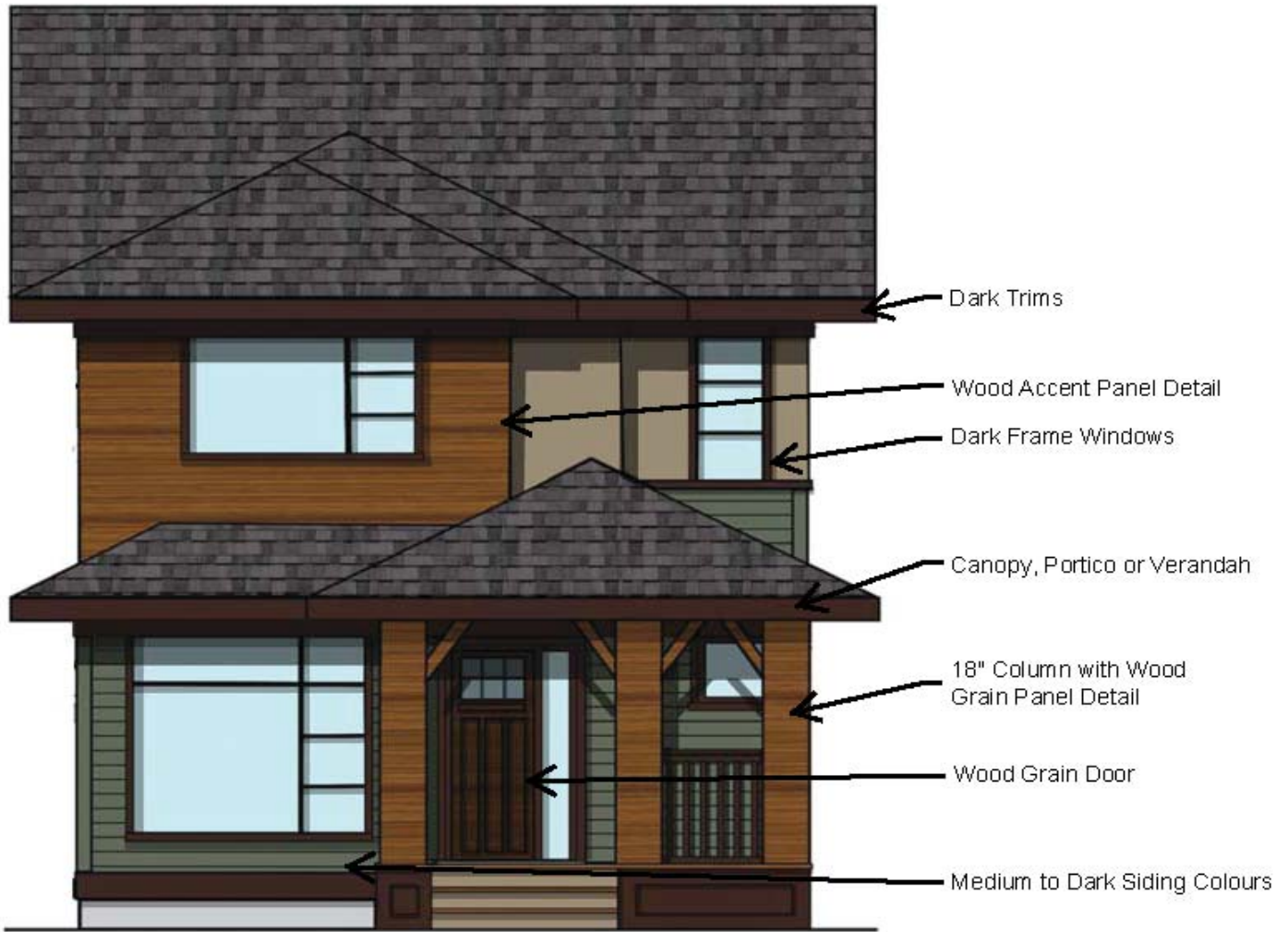
- ENHANCED REAR ELEVATION TREATMENT
- ▲ ENHANCED VISIBLE SIDE ELEVATION TREATMENT



**Stage 2  
Design Guidelines**

# Appendix B – Tonewood Home Style

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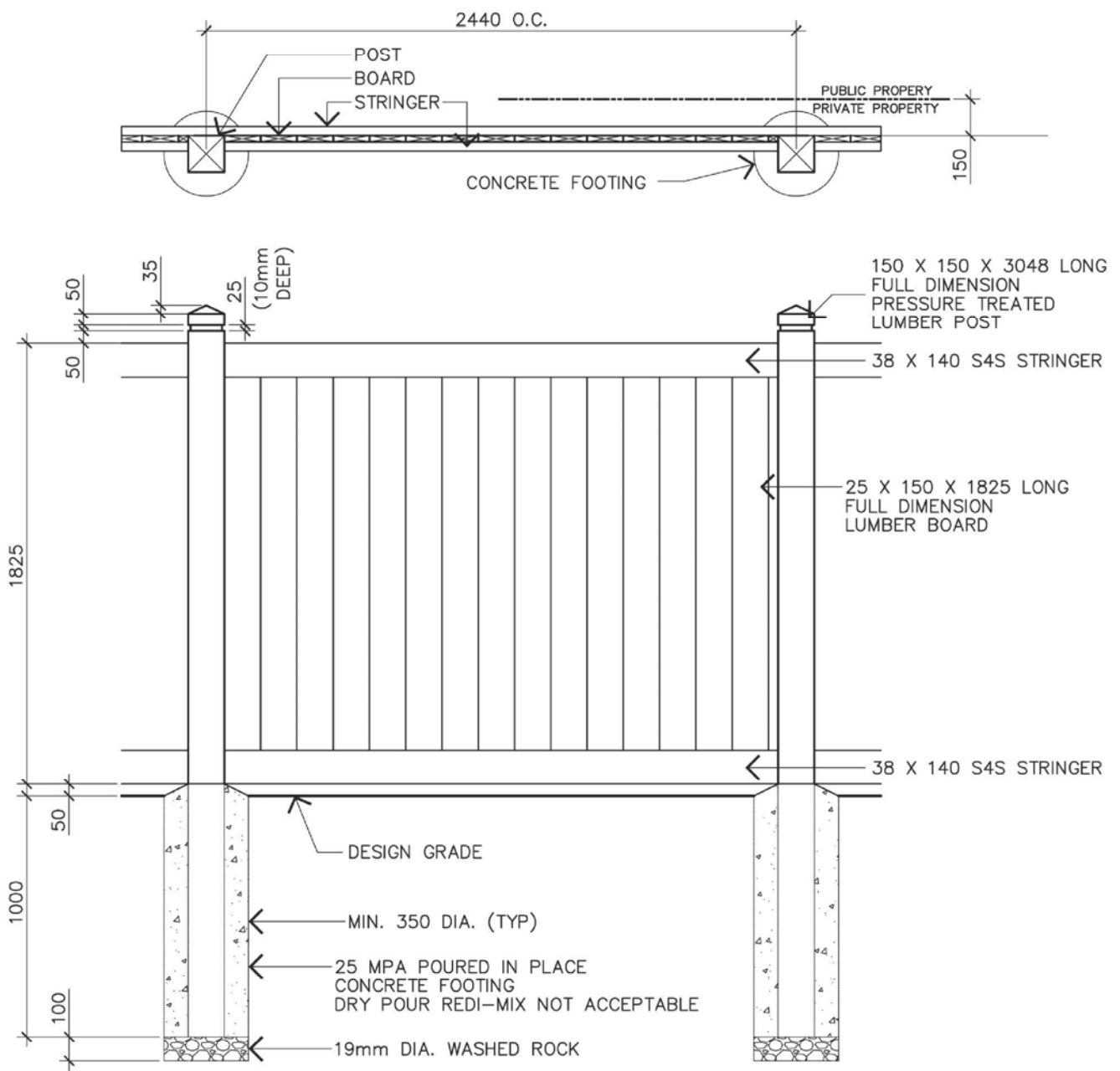
*Sonewood*

Home Style  
April 16, 2015

**MELCOR**  
DEVELOPMENTS LTD.

# Appendix C – Fence Detail

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**NOTE:**

ALL LUMBER TO RECEIVE 2 COATS OF STAIN.

BOARDS TO BE NAILED TO STRINGERS WITH GALVANIZED ARDOX NAILS MIN. 57 LONG 3 PER BOARD PER STRINGER.

FENCE COLOUR TO BE DETERMINED



April 2015



**Fence Detail**

# Appendix D – Address Plaque

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CON SLT 2501 by Address Signage Company - [www.onlinesignco.com](http://www.onlinesignco.com)

NOTES:

- DARK CHARCOAL SLATE WITH RAISED 3/16"  
ALUMINUM BRUSHED NICKEL FINISH
- FONT STYLE - #36 TIMES NEW ROMAN



**Address Plaque  
Font Style & Size**

